

Code Compliance

NYS Existing Building Code 2010

Chapter 9. Change of Occupancy

- Section 901: GENERAL
- Scope. *Defined and acknowledged.*
 - Change in occupancy with no change of occupancy classification. *This condition applies, as does Section 902-911.*
 - Repair and alteration with no change of occupancy classification. *Applicable sections of Chapter 4 shall apply—Alterations level 3, 2 and Repairs.*
 - Change of occupancy classification. *Not applicable.*
- Section 902: SPECIAL USE AND OCCUPANCY
- No special occupancies apply.*
- Section 903: BUILDING ELEMENTS AND MATERIALS
- General. *Section 912 is not applicable due to no change in occupancy classification.*
- Section 904: FIRE PROTECTION
- Fire protection. *Section 912 is not applicable due to no change in occupancy classification.*
 - Carbon monoxide protection. *Alarms and detectors shall be provided as per the Fire Code.*
- Section 905: MEANS OF EGRESS
- General. *Section 912 is not applicable due to no change in occupancy classification.*
- Section 906: ACCESSIBILITY
- General. *Section 912.B is not applicable due to no change in occupancy classification.*
- Section 907: STRUCTURAL
- Gravity loads. *Not applicable due to no change in occupancy.*
 - Snow and wind loads. *Not applicable due to no change in occupancy.*
 - Seismic loads. *Not applicable due to no change in occupancy.*
- Section 908: ELECTRICAL
- Special occupancies. *Not applicable.*
 - Unsafe conditions. *All service will be new as per NFPA 70.*
 - Service upgrade. *All service will be new as per NFPA 70.*
 - Number of electrical outlets. *All service will be new as per NFPA 70.*
- Section 909: MECHANICAL
- Mechanical requirements. *All HVAC shall be new as per the NYS Mechanical code.*
- Section 910: PLUMBING
- Increased demand. *Not applicable.*
 - Food-handling occupancies. *Not applicable.*
 - Interceptor required. *Not applicable.*
 - Chemical wastes. *Not applicable.*
 - group 1-2. *Not applicable.*
- Section 911: OTHER REQUIREMENTS
- Light and ventilation. *Shall comply with the Building Code.*
 - Change in space conditioning. *Not applicable—all space is currently conditioned.*
- Section 912: CHANGE OF OCCUPANCY CLASSIFICATION
- Not applicable due to no change in occupancy classification.*

Chapter 8. Alterations Level 3

- Section 801: GENERAL
- Scope. *Defined and acknowledged.*
 - Compliance. *Shall include chapters 7 and 6 also. Sections 703-5 shall apply within all work areas whether or not they include exits and corridors shared by more than one tenant and regardless of the occupant load.*
- Section 802: SPECIAL USE AND OCCUPANCY
- Not applicable.*
- Section 803: BUILDING ELEMENTS AND MATERIALS
- Existing shafts and vertical openings. *Shall be enclosed in accordance with section 703.2.1. see this section for requirements.*
 - Fire protection in group R-3. *Not applicable.*
 - Interior finish. *In exits: shall comply with section 703.4 throughout. See this section for requirements.*
- Section 804: FIRE PROTECTION
- Automatic sprinkler systems. *Shall be provided as per section 704.2. see this section for requirements.*
 - Fire alarm and detection systems. *Systems complying with sections 704.4.1 and 704.4.3 shall be provided throughout the building in accordance with the Building Code.*
 - Manual fire alarm systems. *Shall be provided throughout the work area where required by the Building Code; as will Alarm notification devices shall be automatically activated. (Not required as per the Fire Code; see section 704).*
 - Automatic fire detection. *Shall be provided throughout the work area.*
- Section 805: MEANS OF EGRESS
- General. *Shall comply with section 705.*
 - Means of egress lighting. *Shall be provided in exits as per Building Code. BC: required in exits only.*
 - Exit signs. *Shall be provided as per the Building Code. BC: required in exits only.*
- Section 806: ACCESSIBILITY
- General. *Shall comply with Section 605.*
 - Type B units. *Not applicable.*
- Section 807: STRUCTURAL
- General. *The only structural alterations occur on the second level with the substitution of bearing walls with beams; first and third floors remain the same.*
 - Reduction of strength. *There will be no reduction in strength or stability of the building.*
 - New structural members. *Shall comply with the Building Code.*

- Minimum design loads. *There are no changes to the design loads.*
- Structural alterations. *Not applicable: exception #1 applies*
- Additional vertical loads. *Not applicable: there are no additional vertical loads.*
- Voluntary lateral-force-resisting system alterations. *None of these alterations will occur.*

Section 808: ENERGY CONSERVATION

Measures shall be in conformance with the ECCC of NYS

CHAPTER 7 ALTERATIONS—LEVEL 2

- Section 701: GENERAL
- Scope. *Level 2 alterations shall comply with this section.*
 - Level 1 compliance. *is also required and is presented below*
 - Compliance. *All new elements shall comply with the requirements of the BC2010. None of the exceptions apply.*
- Section 702: SPECIAL USE AND OCCUPANCY. *Not applicable.*
- Section 703: BUILDING ELEMENTS AND MATERIALS.
- Scope. *The requirements of this section are limited to the area of level 2 alterations, or where specified otherwise.*
 - Vertical openings. *30 minutes required as per EBC703.2.1, exception 11.*
 - Smoke barriers. *Not applicable.*
 - Interior finish. *All new work shall comply with the BC.*
 - Guards. *Not applicable.*
- Section 704: FIRE PROTECTION
- Scope. *The requirements of this section are limited to the area of level 2 alterations, or where specified otherwise.*
 - Sprinklers. *Not required due to 704.2.2 the exception: not required in R-2 three stories or less in height.*
 - Standpipes. *Not required.*
 - Fire alarm and detection.
 - Occupancy requirements. *Fire alarm required as per Fire Code for R-2 existing occupancies. Not required as per FC 907.3.1.7: the building is not more than three stories.*
 - Supplemental fire alarm system requirements. *Not applicable due to 704.4.1.*
 - Smoke alarms. *Smoke and carbon monoxide detectors shall be provided as per the BC in all areas.*
- Section 705: MEANS OF EGRESS
- Scope. *Applicable because the work area includes exits and corridors shared by more than one tenant*
 - General. *Applicable due to 705.1.*
 - Number of exits. *Minimum is provided (two) with the use of an existing fire escape as per EBC705.3.1.2.*
 - Egress doorways. *Not applicable—spaces have less than 50 person occupant load and less than 75 travel distance to an exit.*
 - Openings in corridor walls. *All openings will meet the BC.*
 - Dead-end corridors. *None exist.*
 - Means of egress lighting. *Required in the exits.*
 - Exit signs. *Required in the exit.*
 - Handrails. *Will be installed as per BC.*
 - Guards. *Not applicable.*
 - Elevators. *Not applicable.*
- Section 706: ACCESSIBILITY.
- General. *Not required as per section 605/906.*
 - Stairs and escalators. *Not applicable—no stairs are being.*
 - Dwelling units. *Not applicable—no units are being added.*
- Section 707: STRUCTURAL
- General. *There are no increased loads or additional equipment that will be supported by the building. See section 907.*
 - Reduction of strength. *The alterations shall not reduce the structural strength or stability of the building.*
 - New structural members. *New work shall comply with the BC.*
 - Existing structural members. *Not applicable—there will be no new additional loads.*
- Section 708: ELECTRICAL. *All electrical work in the work area shall be new and comply with NFPA 70 for the R2 occupancy.*
- Section 709: MECHANICAL. *All mechanical work shall be new and comply with the NYS Mechanical Code.*
- Section 710: PLUMBING. *All plumbing shall be new and comply with the NYS Plumbing Code.*
- Section 711: ENERGY CONSERVATION. *Shall be provided as per 101 of the NYSECC 2010. See section 911.2.*
- CHAPTER 6 ALTERATIONS—LEVEL 1
- Section 601: GENERAL
- Scope. *This chapter shall be complied with.*
 - Conformance. *The building will not become less safe than it's current condition.*
 - Flood hazard. *Not applicable.*
- Section 602: BUILDING ELEMENTS AND MATERIALS
- Interior finishes. *Shall comply w/ the flame spread requirements of the BC. See general notes.*
 - New carpeting. *shall comply with the radiant flux requirements of the BC. See general notes.*
 - Materials and methods.
 - All new work shall comply with material and methods requirements stated in EBC602.3.*
 - All work being performed on the fuel gas system will be new and shall comply with the NYS Fuel Gas Code 2010.*
- Section 603: FIRE PROTECTION
- General. *The current level of fire protection shall not be decreased.*
 - Nightclubs. *NA*
- Section 604: MEANS OF EGRESS. *No changes will be made to the egress routes. All will comply with the EBC.*
- Section 605: ACCESSIBILITY. *Not required as per 706.3 above.*
- Section 606: STRUCTURAL. *Not applicable—there is no equipment replacement or roofing as part of this application.*
- Section 607: ENERGY CONSERVATION. *See section 911.2 above.*
- Section 608: REROOFING. *No work is being performed to the roof as part of this application.*

General Notes

ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE NEW YORK STATE EXISTING BUILDING CODE 2010 AND APPLICABLE LOCAL CODES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND ARRANGING FOR ALL REQUIRED INSPECTIONS.

THE CONTRACTOR SHALL CHECK AND VERIFY ON-SITE DIMENSIONS DURING CONSTRUCTION AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES, OR ANY QUESTIONS OF INTENT, CLARITY OR OMISSIONS IN THE DOCUMENTS.

MATERIALS AND EQUIPMENT SHALL BE INSTALLED BY PERSONS EXPERIENCED IN THEIR RESPECTIVE BUILDING TRADES AND IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS.

COLLECTION & DISPOSAL OF WASTE. CONTRACTOR SHALL KEEP PREMISES BROOM CLEAN DURING PROGRESS OF THE WORK; REMOVE WASTE MATERIALS AND RUBBISH CAUSED BY EMPLOYEES, SUBCONTRACTORS, INSTALLING MATERIALMEN; AND DISPOSE OF WASTE IN ACCORDANCE WITH APPLICABLE LAWS.

TEMPORARY FIRE PROTECTION. PROVIDE AND MAINTAIN IN WORKING ORDER TWO STANDARD UL-LABELED ABC ALL PURPOSE 10 LB. FIRE EXTINGUISHERS. THESE EXTINGUISHERS SHALL NOT BE INCORPORATED INTO THE FINAL PRODUCT.

BRACING, SHORING & SHEATHING. DESIGN, FURNISH, AND INSTALL ALL SHORING, BRACING AND SHEATHING AS REQUIRED FOR SAFETY AND FOR PROPER EXECUTION OF THE WORK.

BARRICADES, WARNING SIGNS & LIGHTS. INSTALL AND MAINTAIN NECESSARY PRECAUTIONS TO PROTECT PERSONS ON SITE, INCLUDING MEMBERS OF THE GENERAL PUBLIC FROM INJURY OR HARM.

PROTECTION OF EXISTING WORK. PROTECT STREETS, PRIVATE DRIVES, AND SIDEWALKS, INCLUDING OVERHEAD PROTECTION WHERE REQUIRED, AND MAKE NECESSARY REPAIRS FOR DAMAGE THERETO DURING COURSE OF THE WORK AT NO ADDITIONAL EXPENSE TO OWNER.

PROTECTION OF ADJACENT PROPERTY. PROVIDE NECESSARY PROTECTION FOR ADJACENT PROPERTY.

FINAL CLEANING. IN ADDITION TO GENERAL CLEANING, CONTRACTOR SHALL REMOVE MARKS, STAINS, AND DIRT FROM EXTERIOR SURFACES OF BUILDING. CLEAN ALL DIRT, MUD AND OTHER FOREIGN MATERIAL FROM PAVING, SIDEWALKS, AND GUTTERS. REMOVE ALL TRASH, DEBRIS AND FOREIGN MATERIAL FROM LANDSCAPED AREAS.

SITework. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SITework PROCEDURES INCLUDING FINISHED GRADING.

CONCRETE. ALL CONCRETE WORK SHALL CONFORM TO THE LATEST EDITION OF THE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318-83)" WHICH SHALL GOVERN THE DETAILING, FABRICATION AND CONSTRUCTION OF CAST-IN-PLACE REINFORCED CONCRETE.

WOOD. FRAMING LUMBER SPECIES SHALL BE DOUGLAS FIR-LARCH STRUCTURAL GRADE OR, HEM-FIR OR SOUTHERN PINE GRADE #1 OR BETTER. FRAMING TO COMPLY WITH MANUAL FOR HOUSE FRAMING PUBLISHED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION; OR THE NYS BUILDING CODE 2010.

LAMINATED VENEERED LUMBER (LVL) PRODUCTS. PROVIDE LOUISIANA-PACIFIC GANG-LAM LVL 2950 FB-2.0 E WESTERN SPECIES. SUBMIT PRODUCT LITERATURE FOR LVL BEAMS OR JOIST SYSTEMS OTHER THAN THOSE SPECIFIED TO ARCHITECT FOR APPROVAL. USE ONLY HANGERS AND CONNECTORS AND METHODS OF INSTALLATION APPROVED BY MANUFACTURER OF LVL PRODUCTS.

ALL DIMENSIONS ARE TO BE TAKEN FROM ROUGH FRAMING UNLESS OTHERWISE INDICATED.

ALL PLYWOOD SUBFLOOR SHALL BE 2", SPAN RATING 20 O.C., C-D GRADE, EXPOSURE #1 AND MANUFACTURED IN ACCORDANCE WITH U.S. PROJECT STANDARDS. SUBFLOOR SHALL BE NAILLED AND GLUED WITH END JOINTS STAGGERED. NAIL ACCORDING TO TABLE 4.15 OF THE TIMBER CONSTRUCTION MANUAL.

PROVIDE CROSS-BRIDGING AT MID-POINT OF ALL SPANS IN EXCESS OF 8'-0"

INSTALL HEAVY-GAUGE GALVANIZED METAL HANGERS AT ALL LOCATIONS WHERE JOISTS DO NOT BEAR DIRECTLY ON CONSTRUCTION BELOW OR WHERE JOISTS ARE INDICATED TO BE IN SAME PLANE AS BEAM.

INSULATION AT NEW WALLS USE HIGH POLYCYCNE NE FOAM, R VALUE 6 MIN PER INCH.

THERMAL PERFORMANCE VALUES FOR BUILDING ENVELOPE SYSTEMS SHALL CONFORM MIN. AS FOLLOWS:

- WALLS: R-21
- FLOOR: R-25
- ROOF/CEILING: R-38
- GLAZING: R-2.9

DOORS AND WINDOWS. ALL WINDOWS SHALL BE DOUBLE-PANE INSULATIVE GLAZING

FINISHES. ALL INTERIOR FINISHES SHALL BE AS PER OWNER'S DIRECTION

THE INTERIOR FINISH OF WALL AND CEILINGS SHALL COMPLY WITH CHAPTER 8 OF THE BUILDING CODE: CLASS B WALL AND CEILING FINISHES AND CLASS II FLOOR FINISHES SHALL BE APPLIED IN THE EXIT ACCESS CORRIDORS, VERTICAL EXITS AND EXIT PASSAGEWAYS; CLASS C WALL AND CEILING FINISHES SHALL BE APPLIED IN ROOMS AND ENCLOSED SPACES. ALL EXISTING FINISH MATERIALS THAT DO NOT COMPLY MAY BE TREATED WITH AN APPROVED, FIRE-RETARDANT COATING IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

CLASS A: FLAME SPREAD 0-25; SMOKE DEVELOPED 0-450
CLASS B: FLAME SPREAD 26-75; SMOKE DEVELOPED 0-450
CLASS C: FLAME SPREAD 76-200; SMOKE DEVELOPED 0-450
NO TEXTILES SHALL BE USED AS CEILING OR WALL COVERINGS.

MECHANICAL. ALL MECHANICAL WORK SHALL BE INSTALLED IN COMPLIANCE WITH THE MECHANICAL CODE OF NEW YORK STATE 2010. ALL WORK SHALL BE NEW.

- EACH UNIT SHALL BE PROVIDED BY A GAS-FIRED, FORCED-AIR SYSTEM WITH AIR-CONDITIONING AND INDIVIDUALLY METERED.

ALL PLUMBING WORK SHALL BE INSTALLED IN COMPLIANCE WITH THE NYS PLUMBING CODE FOR DESIGN AND INSTALLATION. PLUMBING CONTRACTOR SHALL PROVIDE SCHEMATIC PIPING DIAGRAMS AS REQUIRED.

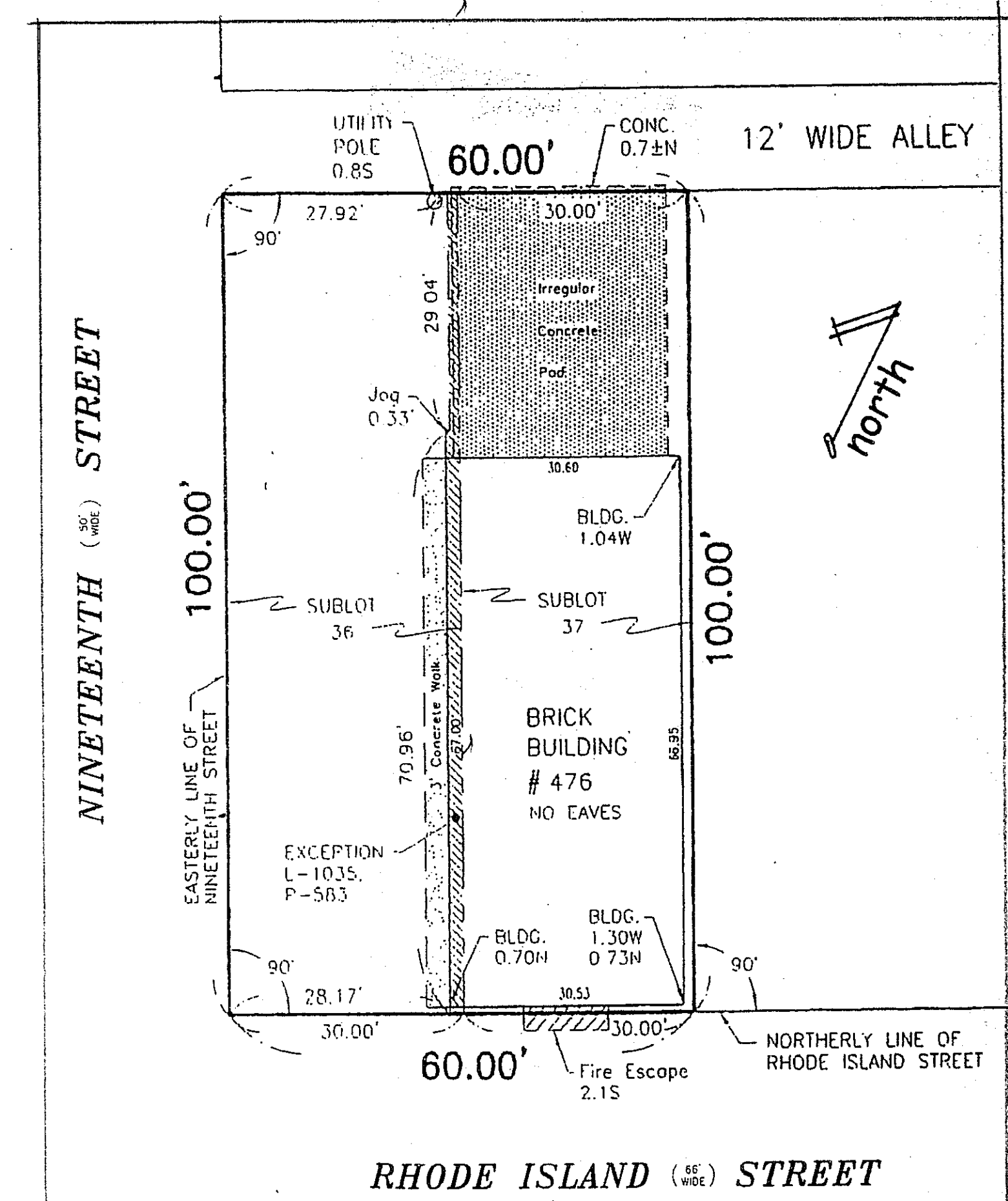
- AT BATHROOMS: PROVIDE AN ALLOWANCE FOR MEDIUM QUALITY FIXTURES AT ALL LOCATIONS: COMPOSITE 5'-0" TUB WITH SHOWER, TOILETS, VANITY WITH SINK, LAVATORIES, MEDICINE CABINETS WITH MIRROR. PROVIDE BLOCKING IN WALLS FOR TOWEL RACKS. CONFER WITH OWNER FOR FINAL SELECTION OF FIXTURES.
- AT THE KITCHEN: PROVIDE AN ALLOWANCE FOR MEDIUM QUALITY FIXTURES AT ALL LOCATIONS.

ELECTRICAL. ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRIC CODE.

- LIGHTING: CONTRACTOR SHALL PROVIDE AN ALLOWANCE FOR MEDIUM-QUALITY FIXTURES AT ALL LOCATIONS.

FIRE PROTECTION. CONCEALED SPACES WITHIN WALL, CEILING, PARTITION, FLOOR, STAIR, ATTIC OR CORNICE CONSTRUCTION AND AROUND CHIMNEY, PIPE AND DUCT OPENINGS SHALL BE FIRE-STOPPED TO PREVENT THE PASSAGE OF FLAME, SMOKE, FUMES AND HOT GASES INTO ATTIC/ROOF CONSTRUCTION. COMBUSTIBLE FIRESTOPPING MATERIALS ARE PERMITTED.

SMOKE DETECTORS SHALL BE INSTALLED IN EACH LIVING AREA; OUTSIDE IN THE HALL; AND ON EACH ADDITIONAL STORY OF THE STRUCTURE INCLUDING THE BASEMENT BUT NOT CRAWL SPACES AND UNINHABITED ATTICS. ALARM DEVICES SHALL BE HARDWIRED AND INTERCONNECTED SUCH THAT ALARMS ACTIVATE AS ONE WITHIN EACH UNIT.



Location Plan

scale: 1" = 15'-0"

TAKEN FROM SURVEY BY FOIT-ALBERT & ASSOCIATES. NO OTHER CREDITS SUPPLIED BY OWNER.

NOTES FOR THE PLAN:

- EXISTING THREE-STORY BRICK BUILDING WITH NO ATTIC (FLAT ROOF) AND FULL BASEMENT
- FUTURE PARKING AREA
- FUTURE LANDSCAPED AREA
- EXISTING CONCRETE SIDEWALK
- EXISTING STAIR FROM BASEMENT (TO BE REPAIRED)
- EXISTING FIRE ESCAPE

Scope of the Work

THE PURPOSE OF THIS SUBMISSION IS TO ATTAIN A BUILDING PERMIT FOR LEVEL 3 ALTERATIONS AT THE SECOND AND THIRD FLOOR; AND SUBMIT A CODE EVALUATION FOR A CHANGE OF OCCUPANCY.

EXISTING INFORMATION SUPPLIED BY THE BUILDING DEPARTMENT INDICATES THIS STRUCTURE'S OCCUPANCY CLASSIFICATION TO BE ONE STOREFRONT ON THE FIRST LEVEL; AND SIX APARTMENTS AT THE SECOND AND THIRD LEVEL.

PROPOSED. THE NEW CONFIGURATION WILL KEEP THE STOREFRONT AT THE FIRST LEVEL; AND PROVIDE THREE APARTMENTS: TWO ON THE SECOND FLOOR AND ONE ON THE THIRD. CODE COMPLIANCE WILL BE DEMONSTRATED USING NYS EXISTING BUILDING CODE, CHAPTER 9 CHANGE OF OCCUPANCY WITHOUT CHANGE IN OCCUPANCY CLASSIFICATION, AND ADHERENCE TO ALTERATIONS LEVEL THREE AND ATTENDANT CHAPTERS.

THE SCOPE INCLUDES BUT IS NOT LIMITED TO:

- NEW APARTMENT CONFIGURATION ON BOTH FLOORS;
- ALL NEW ELECTRIC SERVICE AND LIGHTING;
- ALL NEW PLUMBING;
- ALL NEW HVAC;
- THE EXISTING STAIRS AND HALL WILL BE RETAINED. THE REAR STAIR SHALL CONTINUE TO THE FIRST FLOOR AND EXIT OUT THE REAR.

status of project: preliminary for estimating only for bidding only permit drawings for construction

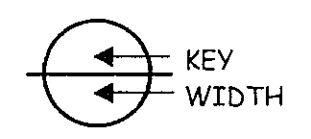
<p>alterations to the building at 476 rhode island street buffalo, new york</p>	
<p>kathleen m. kinan, architect 289 lexington avenue, buffalo, new york 14222 716.881.6681 facs: 884.6394 email: abbdani@msn.com</p>	<p>sheet # 1 of 4 date jan 2012 revisions: may 2012</p>

Wall Types and notes for rated floors/ceiling

- NEW WALL
- RATED WALL

- W1) EXISTING EXTERIOR WALL. EXISTING STRUCTURAL BRICK WALL WITH NEW INTERIOR 2X4" WOOD-STUD WALL TO ACCOMMODATE ICYNENE FOAM INSULATION HAVING A MINIMUM R VALUE OF 6.0 PER INCH. THIS APPLICATION IS TYPICAL THROUGHOUT THE ENTIRE PERIMETER.
- W2) EXISTING INTERIOR WALL, NON-RATED. WOOD STUD WITH PLASTER OR 1/2" DRYWALL.
- W3) EXISTING INTERIOR WALL, FIRE-RATED FOR ONE HOUR. WOOD STUD WITH NEW 5/8" TYPE X FIRE-RATED DRYWALL BOTH SIDES. ALL EXISTING PLASTER AND LATH HAS BEEN REMOVED. WALL SHALL EXTEND FULL HEIGHT TO UNDERSIDE OF DECK.
- W4) NEW INTERIOR WALL, NON-RATED. 2X4" WOOD STUD 16" O.C. WITH 1/2" TYPE DRYWALL BOTH SIDES—OR—MR BOARD ON WET WALL.
- W5) NEW INTERIOR WALL, FIRE-RATED FOR ONE HOUR. 2X4" WOOD STUD 16" O.C. WITH 5/8" TYPE X DRYWALL BOTH SIDES AS PER ITEM # 14-1.3 OF TABLE 720.1(2) IN NYSBC 2010.
- W6) THE FLOOR BETWEEN DIFFERENT UNITS REQUIRES A ONE HOUR FIRE RATING.
 - a. FOR AN EXISTING FLOOR REQUIRING A 1 HOUR FIRE-RATING: REFERENCE TABLE 3.3 WOOD JOIST FLOOR/CEILING ASSEMBLIES. ITEM CODE #FC-W-18, PAGE A-101 OF GUIDELINES ON FIRE RATINGS OF ARCHITECTURAL MATERIALS AND ASSEMBLIES WHICH DESCRIBES A 2 X9" 18" O.C. WOOD JOIST FLOOR WITH 1" T&G DECK AND 7/8" PLASTER AND LATH CONSTRUCTION AS HAVING A 1/2 HOUR RATING. WE PROPOSE TO PROVIDE 5/8" TYPE X GYPSUM BOARD ATOP THE EXISTING PLASTER CEILING TO PROVIDE AN ADDITIONAL 40 MINUTE RATING AS PER TABLE 721.6.2(1) BC.
 - b. AT NEW FLOOR ASSEMBLIES: PROVIDE 5/8" TYPE X GYPSUM BOARD TO PROVIDE A 40 MINUTE RATING AS PER TABLE 721.6.2(1) BC. IN ADDITION TO THE WOOD FRAME (20 MINUTES AS PER TABLE 721.6.2(2)); AND GLASS FIBER MINERAL WOOL NOT WEIGHING LESS THAN 2LB5 PER CUBIC FOOT FOR AN ADDITIONAL 15 MINUTES AS PER TABLE 721.6.2(5). THIS TOTALS 75 MINUTES OF PROTECTION WHICH EXCEEDS THE REQUIREMENTS OF THE CODE.
 - c. AT STAIR: PROVIDE TYPE X FIRE-RATED DRYWALL AT UNDERSIDE OF STAIR IF IT SUBDIVIDES APARTMENTS

Door Schedule

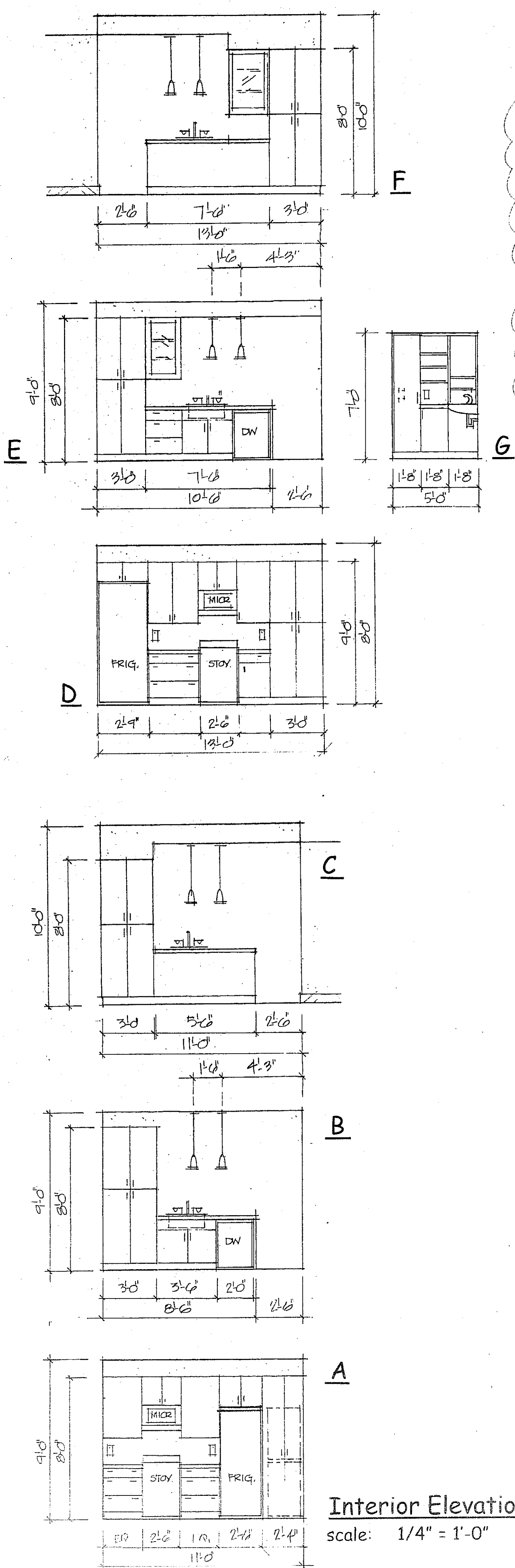


- WIDTH OF DOORS IS ON PLANS
- ALL DOORS SHALL BE 7'-0" HEIGHT, STYLE AS PER OWNER.
- LOCKING MECHANISM SHALL BE APPROPRIATE FOR USE OF ROOM.
- DOOR TRIM: AS PER OWNER.

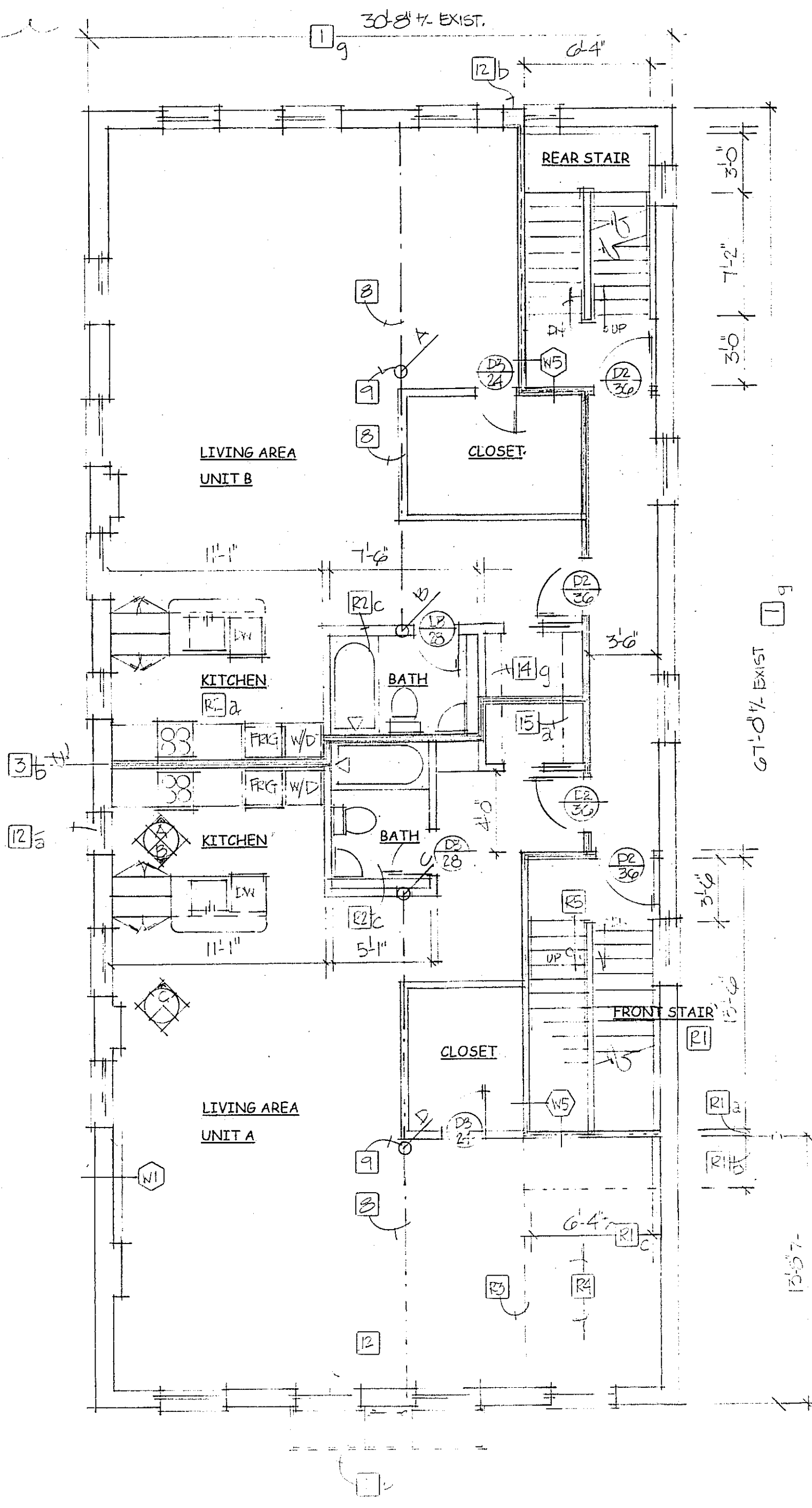
Key	type	location	comments
D1	EXTERIOR SWING	REAR STAIR TO OUTSIDE	
D2	RATED DOOR, SWING	AT STAIR WELLS AND ENTRY TO APARTMENTS	60 MINUTE MINIMUM RATING WITH RATED FRAME AND AUTO CLOSER
D3	SINGLE SWING, NON-RATED	THROUGHOUT	PANELED AS PER OWNERS' INSTRUCTION
D4	POCKET DOOR	TO BATHROOM	USE HEAVY-DUTY HARDWARE

NOTES FOR THE REVISIONS, DATED MAY 2012:

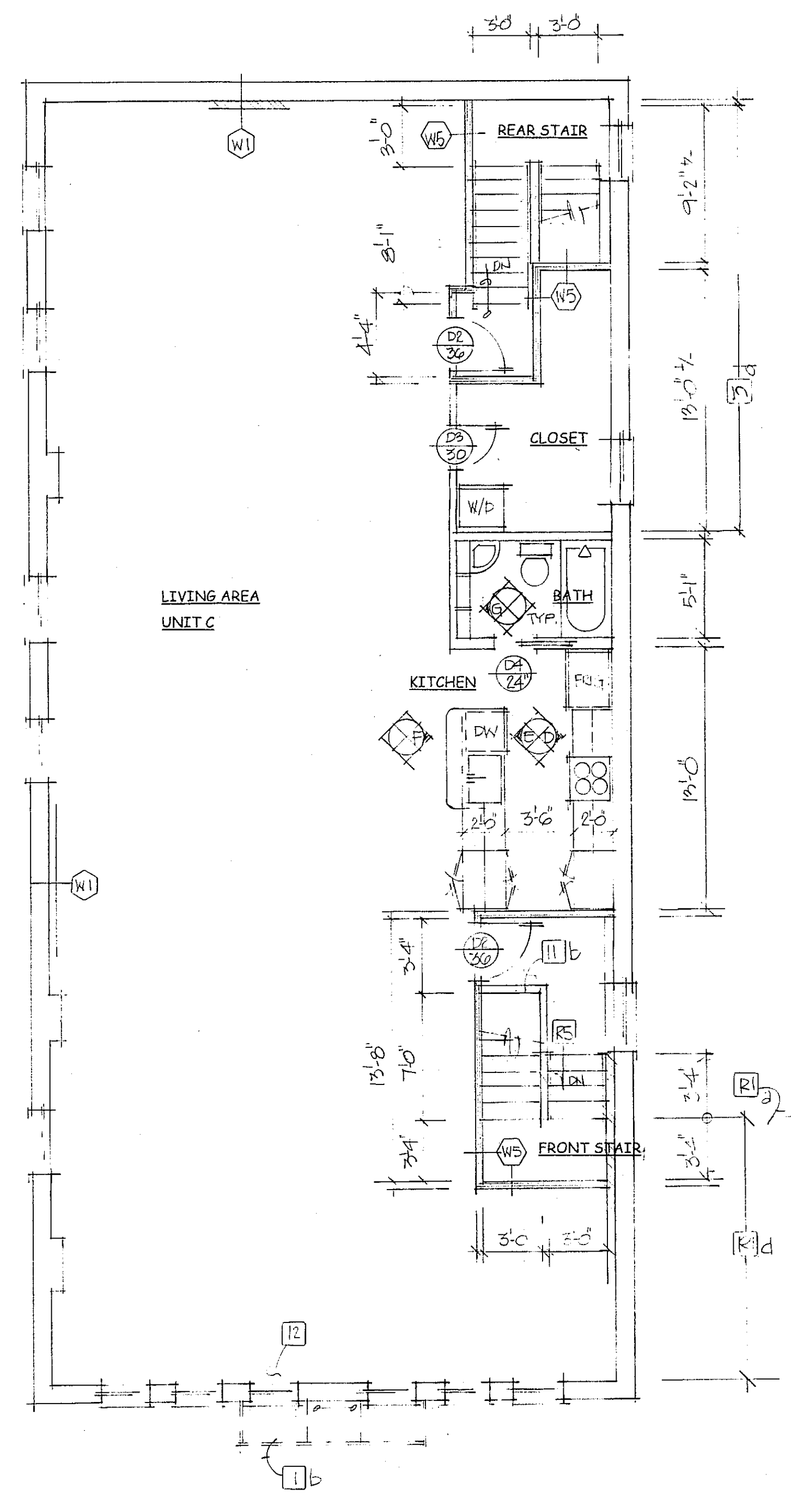
- THE EXISTING FIRE ESCAPE WILL BE REMOVED FROM THE FRONT OF THE BUILDING AND A NEW INTERNAL STAIRCASE FROM THE THIRD FLOOR TO THE SECOND WILL BE INSTALLED.
- R1 WORKING POINTS FOR THE LAYOUT AT THE NEW FRONT STAIR. SEE SECTION. THE EXISTING STAIR FROM THE FIRST TO THE SECOND WILL BE RETAINED. A NEW STAIR WILL BE ADDED FROM THE THIRD FLOOR TO THE SECOND. THE STAIR WILL BE ENCLOSED.
 - a. LOCATION OF EXISTING WALL AT EXISTING STAIR
 - b. LOCATE LANDING HERE. BOTTOM OF LANDING SHALL ALLOW 7'-6" MIN HEIGHT IN THE ROOM. SEE SECTION
 - c. THIS IS A PLUS-MINUS DIMENSION. WORK WITH THE EXISTING STAIR.
 - d. LOCATE NEW STAIR IN ACCORDANCE WITH EXISTING BELOW. SEE NOTES R1A & B.
 - R2 WORKING POINTS FOR THE LAYOUT OF THE REMAINDER OF THE DESIGN
 - a. AT THE KITCHEN SECOND FLOOR: SEE NOTE 3B
 - b. AT THE KITCHEN THIRD FLOOR. LAY OUT THE STAIRCASES FIRST, THEN LOCATE THE KITCHEN AND THE BATHROOM.
 - c. AT THE BATHROOMS SECOND FLOOR. LAY OUT THE BATHROOMS BETWEEN COLUMNS B AND C. THE INTERIOR DIMENSIONS OF THE BATHROOMS SHALL BE NO SMALLER THAN 5'-0" X 7'-6" FINISHED, THEY CAN BE BIGGER IF SPACE ALLOWS.
 - R3 LINE OF LOWER CEILING
 - R4 CEILING JOISTS ABOVE: 2X6" 12" O.C.
 - R5 STAIRS. THE NEW PORTION OF THE STAIR WILL HAVE 7-5/16" RISERS AND 10" TREAD WITH 1" NOSING. THE EXISTING STAIR IS SIMILAR TO NOTE #10 ABOVE. PROVIDE HANDRAIL BOTH SIDES AT 34-36" HEIGHT.
 - R6 AREA OF EXISTING FLOOR JOISTS TO BE REPLACED: 3 X 12" 16" O.C.



Interior Elevations
scale: 1/4" = 1'-0"



Second Floor Plan
scale: 3/16" = 1'-0"



Third Floor Plan
scale: 3/16" = 1'-0"

Notes for the Plans

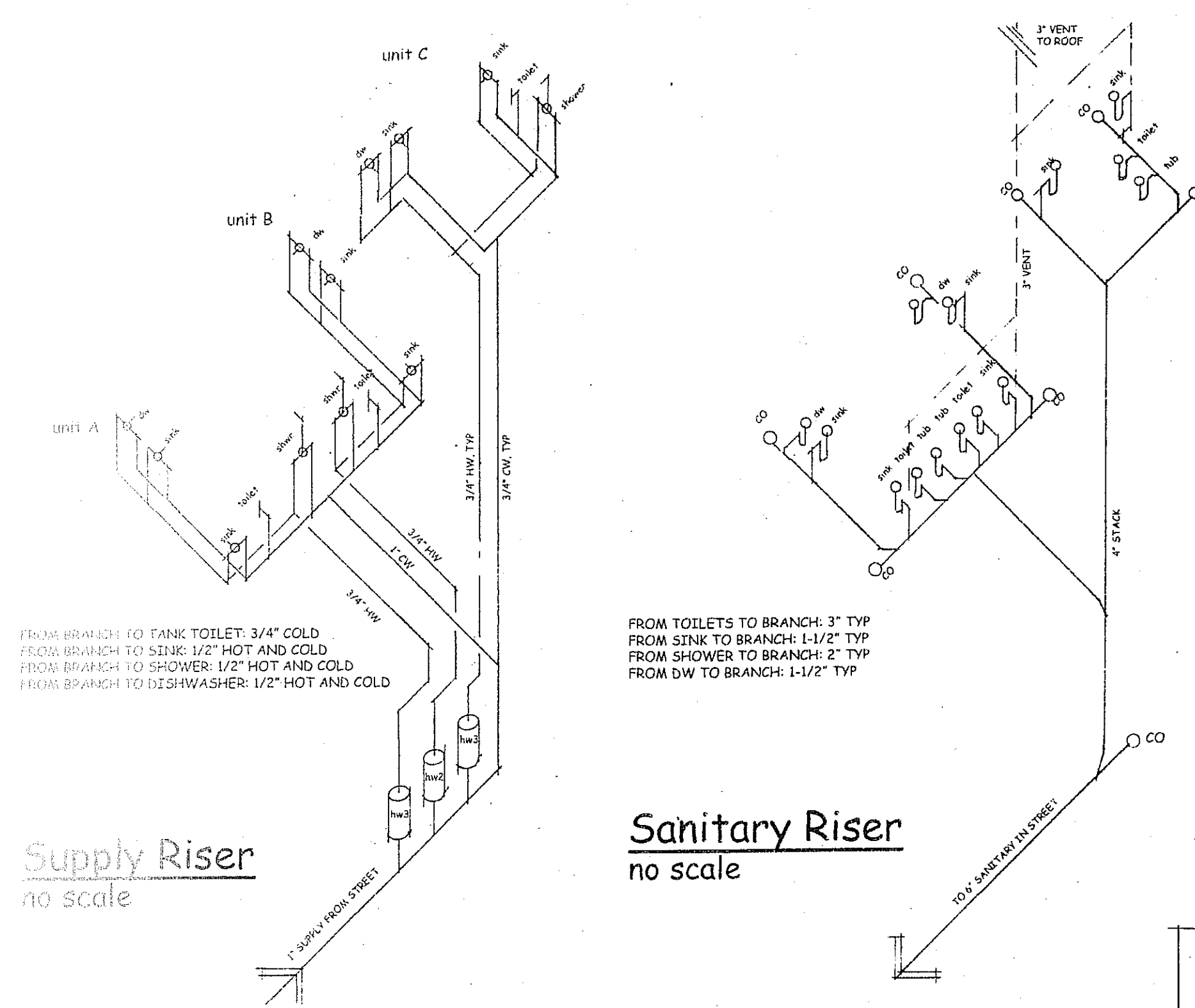
- 1) EXISTING
 - a. STAIR
 - b. FIRE ESCAPE (TO BE REMOVED)
 - c. STAIR WELL. STEPS TO BE REBUILT AS REQUIRED
 - d. BRICK PIERS
 - e. STEEL BEAM
 - f. STEEL COLUMNS, TYP. AT BASEMENT & FIRST FLOOR
 - g. FLOOR JOISTS: EXISTING 3 X 12", 16" O.C. ABOVE
 - h. DIMENSIONS TAKEN FROM SURVEY
- 2) REMOVALS. ALL REMOVALS HAVE BEEN MADE PRIOR TO THIS SUBMISSION.
- 3) WORKING POINTS FOR LAYOUT OF DESIGN
 - a. FOR THE STAIR: LAY OUT THE NEW STAIR AT THE FIRST FLOOR FIRST, THEN LOCATE ENCLOSURE WALLS FOR THE SECOND AND THIRD FLOORS ABOVE—BECAUSE—THE BRICK WALLS STEP OUT (BECOME THINNER) ABOUT 4" WITH EACH FLOOR LEVEL
 - b. LOCATE CENTER WALL OF APARTMENTS AT CENTER LINE OF COLUMNS B AND C. CHECK WINDOWS AT EXTERIOR WALL (WHICH SHOULD ALSO BE EQUALLY SPACED)—MAKE ADJUSTMENT OR CALL ARCHITECT IF WINDOWS INTERFERE WITH CABINETRY OF KITCHEN
 - c. SEE ENLARGEMENT FOR DIMENSIONS AND LAYOUT OF THIS AREA.
 - d. LAY KITCHEN & BATHROOM OUT FIRST, THEN THE STAIR. THIS DIMENSION = WHATEVER IS LEFT OVER. CONTACT ARCHITECT IF IT IS MORE THAN A FEW INCHES OFF.
 - e. THIS DIMENSION IS A PRODUCT OF THE COLUMN LOCATION AND FIRING OF THE EXTERIOR WALL.
- 4) LINE OF
 - a. CEILING SOFFIT ABOVE
 - b. FIRE ESCAPE ABOVE
 - c. CONTINUATION OF STAIR ABOVE. THIS AREA OF SLOPED CEILING SHALL RECEIVE 5/8" TYPE X GYPSUM.
- 5) FOUNDATIONS
 - a. THICKEN SLAB BELOW NEW WALL: 2'-0" WIDE BY 1'-0" DEPTH WITH (3) #4 REBAR AT BOTTOM OF SLAB.
- 6) FLOOR JOISTS. NO NEW FLOOR JOISTS
- 7) CEILING/RAFTERS. NO NEW.
 - a. CEILING AT STOREFRONT SHALL RECEIVE ONE-HOUR FIRE-RATING. SEE WALL SCHEDULE, NOTE W6.
- 8) WOOD BEAMS: LVL BEAM FOR 13'-0" MAXIMUM SPAN: (4) 11-7/8" LVL. BELOW PLANE OF EXISTING FLOOR JOISTS.
- 9) COLUMNS/POSTS: NEW 5" STEEL POSTS W/WELDED CAP AND BASE FOR BOLTED CONNECTIONS—OR—6" WOOD COLUMNS; USE HEAVY-DUTY METAL ATTACHMENT ACCESSORIES TO MAKE CONNECTIONS AT BEAMS ABOVE AND BELOW. TYPICAL AT LOCATIONS A-D. THE LOCATION OF THESE COLUMNS SHALL BE IMMEDIATELY ATOP THE COLUMNS AT THE FIRST FLOOR BELOW.
- 10) STAIRS. THE FRONT STAIR IS EXISTING. PART OF THE REAR STAIR IS EXISTING—THE RISE IS 7-1/2" AND THE TREAD IS 10-1/2"—MATCH EXISTING. PROVIDE HANDRAIL BOTH SIDES AT 34-36" HEIGHT.
- 11) WALLS. SEE SCHEDULE
 - a. RELOCATE DOOR OPENING—OR—WIDEN VESTIBULE TO ACCOMMODATE EXISTING OPENING. MAINTAIN ONE-HOUR ENCLOSURE AT WALLS AND CEILINGS UNDER ANY CIRCUMSTANCE.
 - b. HALF WALL AT 36" HEIGHT, WITH WOOD CAP
- 12) WINDOWS. ALL ARE EXISTING MASONRY OPENINGS WITH NEW THERMAL PANE DOUBLE-HUNG WINDOWS, UNLESS OTHERWISE INDICATED
 - a. AFTER LAYOUT OF DESIGN, REDUCE M.O./WINDOW TO MATCH ADJACENT TO NORTH.
 - b. REDUCE MASONRY OPENING OR ELIMINATE.
- 13) FINISHES. AS PER OWNER'S INSTRUCTION. SEE GENERAL NOTES FOR RATINGS OF FINISHES.
- 14) CABINETS / BUILT-INS
 - a. FULL HEIGHT MEDICINE CABINET, 6" DEEP, WITH 9 ADJUSTABLE GLASS SHELVES AT THE INTERIOR, AND ONE RECEPTACLE
 - b. ADJUSTABLE GLASS SHELVES: 6" DEEP. MIRROR AT BACK WALL. CABINET BELOW.
 - c. MIRROR
 - d. STACKS WASHER AND DRYER BEHIND CABINET DOORS TO MATCH KITCHEN DOORS.
 - e. 1'-0" DEPTH PANTRY UNITS, FULL HEIGHT
 - f. WALL CABINET HUNG FROM CEILING WITH GLASS DOORS BOTH SIDES
 - g. ADJUSTABLE SHELVES: 7
- 15) ACCESSORIES / OTHER
 - a. ROD AND SHELVES
 - b. COAT HOOKS

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alterations to the building at
476 rhode island street
buffalo, new york

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sheet # 2 of 4
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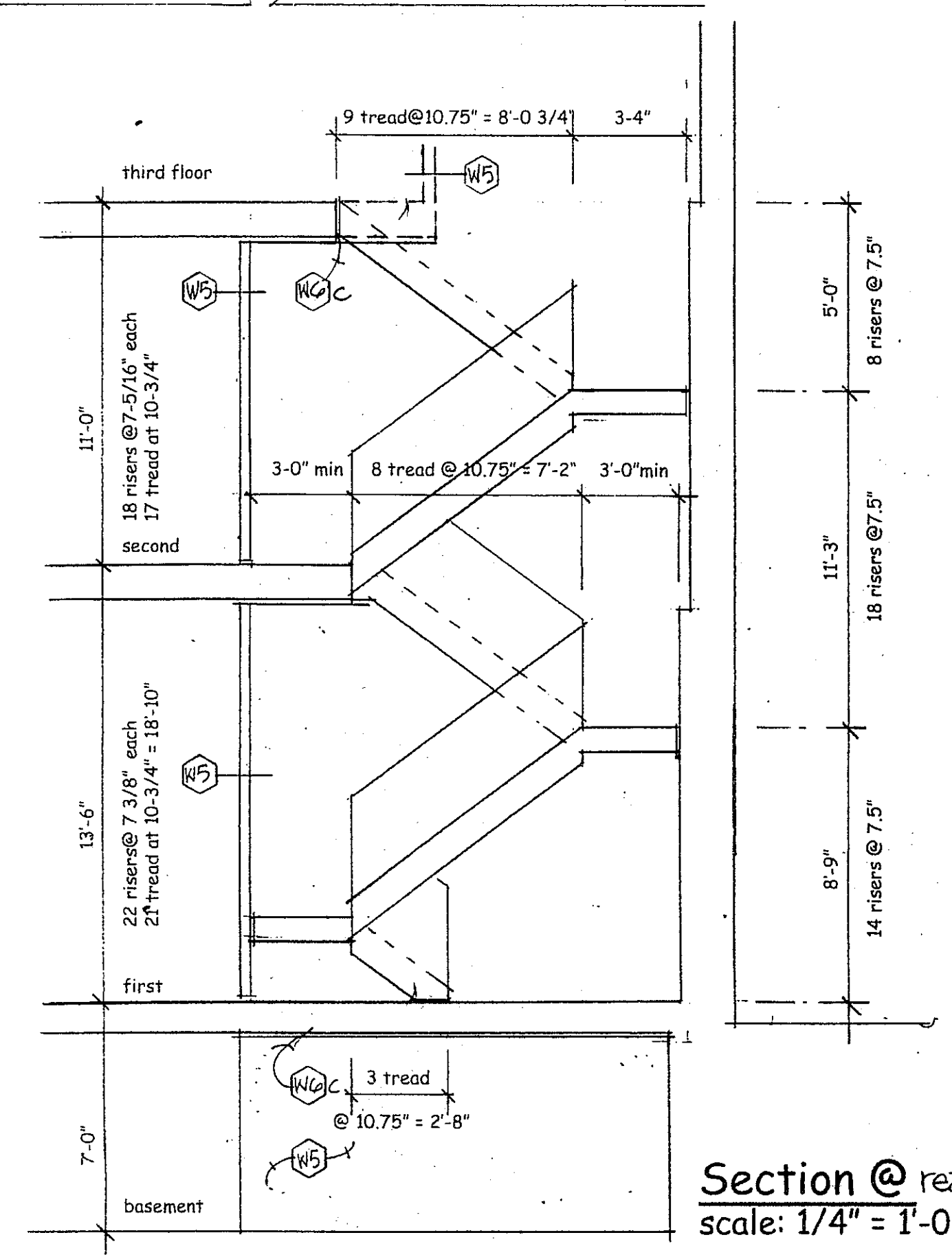
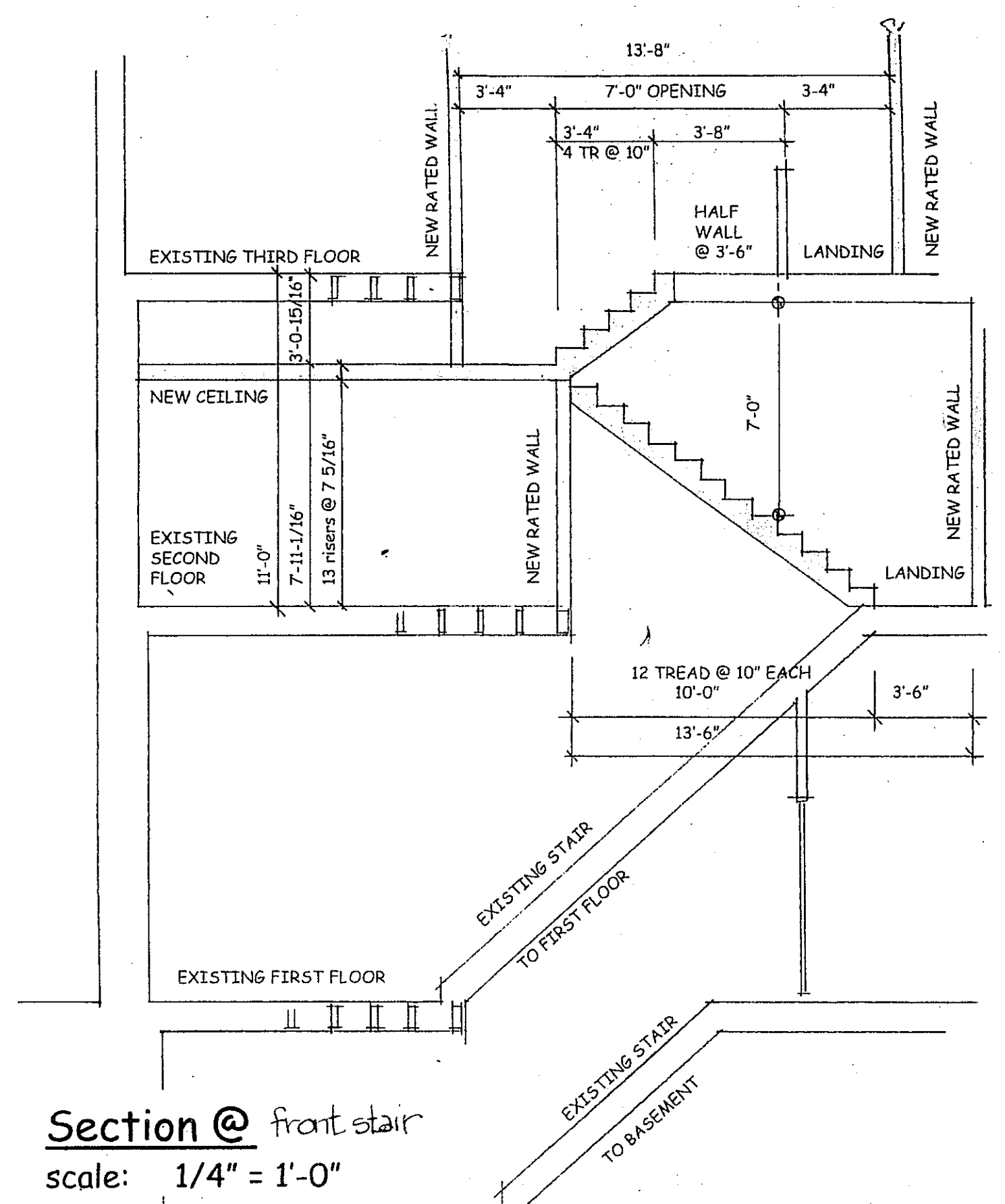
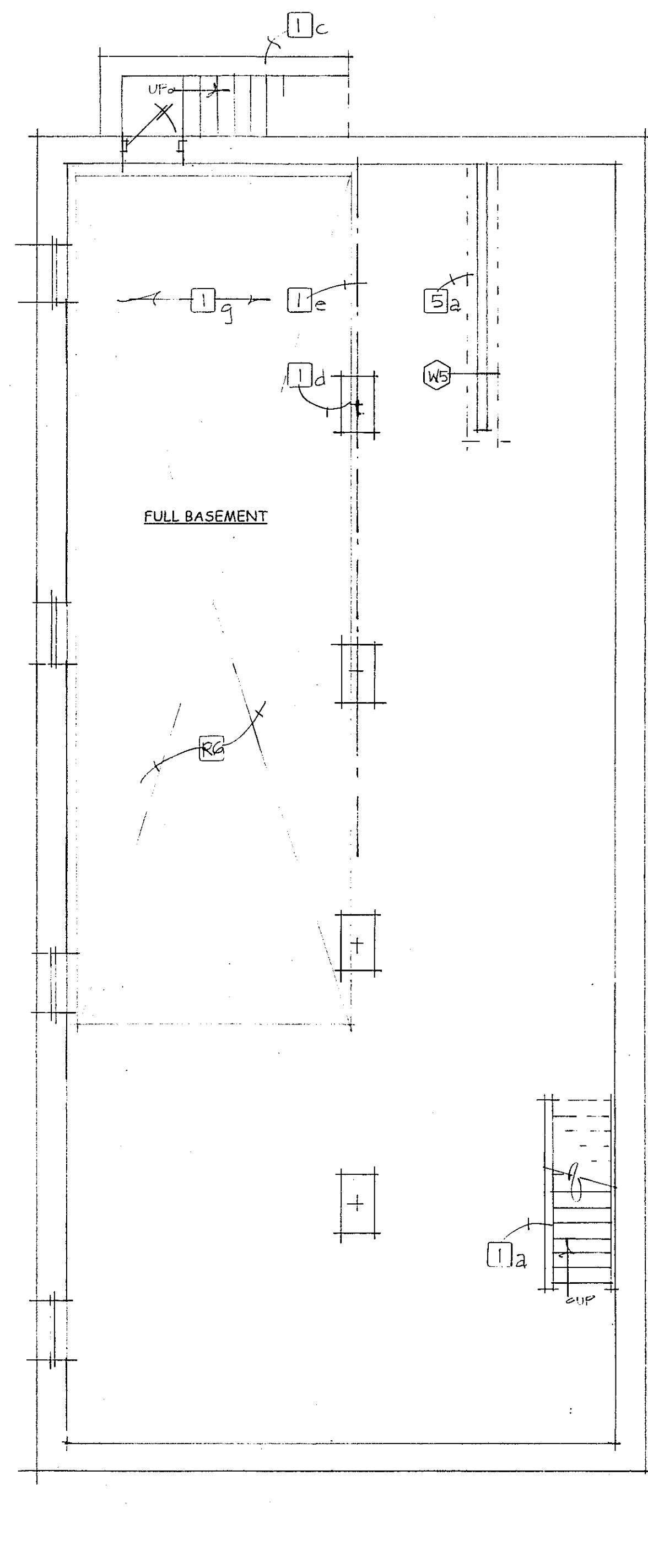
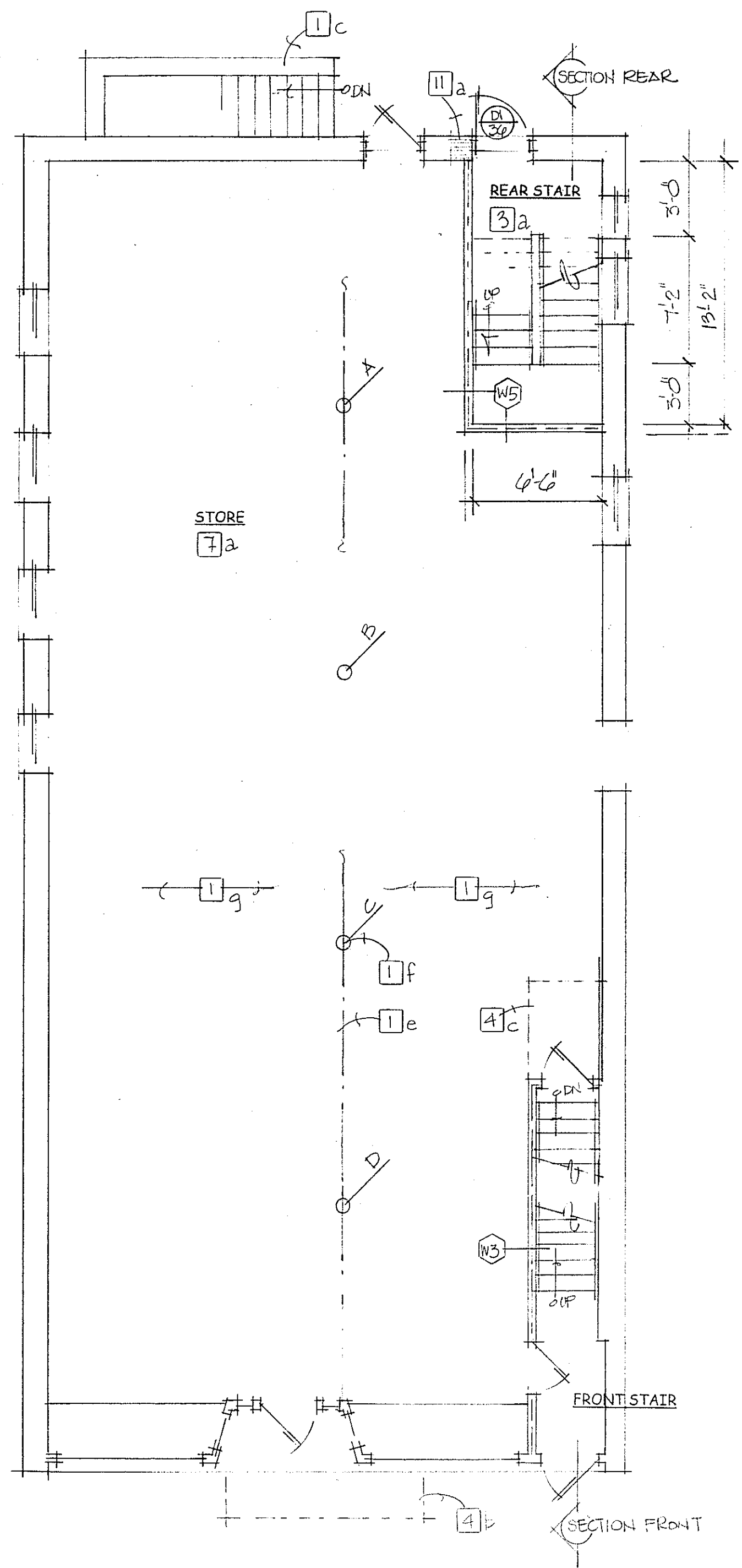


Plumbing Fixture Schedule & Notes

SCOPE OF WORK: ALL PLUMBING SYSTEMS AT THE INTERIOR OF THE BUILDING SHALL BE NEW. THE EXISTING 1" SUPPLY FROM THE STREET SHALL BE NEWLY METERED. THE EXISTING 6" SANITARY LINE FROM THE STREET SHALL BE CLEANED AND REUSED. EACH DWELLING UNIT SHALL HAVE IT OWN 80 GALLON HOT WATER TANK LOCATED IN THE BASEMENT.

ALL PLUMBING SHALL BE INSTALLED IN A MANNER THAT MEETS OR EXCEEDS THE NYS PLUMBING CODE 2010 AND APPLICABLE LOCAL CODES FOR A MULTIPLE DWELLING. PLUMBING CONTRACTOR SHALL FURNISH SUPPLY SHUT-OFFS, DRAINS, TRAPS AND ALL NECESSARY HARDWARE FOR A PROPER INSTALLATION OF ALL FIXTURES AS RECOMMENDED BY THE MANUFACTURER. EXPOSED PLUMBING IN BATHROOMS SHALL BE CHROME PLATED (THE CORNER SINK). THE PLUMBING CONTRACTOR IS EXPECTED TO PROVIDE A COMPLETE INSTALLATION WITH ALL COMPONENTS AND SUPPORT. THIS SCHEDULE IS A GUIDE TO THE INTENT OF THE DESIGN.

ITEM	LOCATION	DESCRIPTION/ MANUFACTURER
P1	TOILET	BATHROOM TANK TYPE VITREOUS CHINA LOW CONSUMPTION (1.6GPF) FLOOR MOUNTED TOILET W/ ELONGATED BOWL.
P2	BATH SINK	BATHROOM WALL-MOUNT VITREOUS CHINA CORNER UNIT SIMILAR TO 'ALFI' BRAND AB104 16-1/2" X 16-1/2" CALL 213.222.8820 FOR INFO.
P3	FAUCET	TBD. SINGLE HOLE
P4	TUB/SHOWER COMBO	BATHROOM TBD
P5	SHOWER HEAD & MIXING VALVE	AT SHOWER PRESSURE BALANCE SHOWER VALVE AND TRIM WITH HAND-HELD SHOWER HEAD AND ROD.
P6	KITCHEN SINK	KITCHEN TBD
P7	FAUCET	TBD
P8	DISHWASHER	KITCHEN TBD
P9	WASHER/DRYER	KITCHEN TBD. BUT SIMILAR TO MAYTAG COMPACT FRONT-LOAD WASHER AND ELECTRIC DRYER, MODEL # MAH2400AWW AND MDE2400AYW. COMPACT BODY FITS IN STANDARD CABINET DEPTH: 26" DEPTH X 23-3/4" W X 33" HEIGHT
P10	FRIG	KITCHEN WATER HOOK-UP FOR ICE MAKER
P11	STOVE	KITCHEN GAS



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Electrical Notes

SCOPE OF THE WORK: THE EXISTING BUILDING WILL RECEIVE ALL NEW SERVICE AS PER NFPA 70 FOR COMMERCIAL APPLICATION FOR THREE DWELLING UNITS AND A STORE BELOW; (THREE) 150 SERVICE PANELS, ONE FOR EACH APARTMENT; (ONE) 200 AMP SERVICE FOR THE RETAIL AND ITS BASEMENT; AND (ONE) 60 AMP HOUSE METER.

GENERAL NOTES

ALL WORK SHALL BE PERFORMED IN COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES AND ORDINANCES; AND THE MOST CURRENT VERSION OF THE NEC AND CODES OF NEW YORK STATE 2010.

AT THE COMPLETION OF THE WORK THE ELECTRICAL CONTRACTOR SHALL DELIVER TO THE OWNER A CERTIFICATE OF INSPECTION AND ACCEPTANCE OF THE WORK BY THE LOCAL INSPECTION AUTHORITY.

IT IS THE INTENT OF THESE NOTES THAT THE ELECTRICAL CONTRACTOR SHALL FURNISH ALL NECESSARY LABOR, MATERIALS, SUPPLIES AND EQUIPMENT, TRANSPORTATION, ETC. REQUIRED TO PLACE INTO SATISFACTORY OPERATION THE NEW SYSTEMS. THE ELECTRICAL CONTRACTOR SHALL BE REQUIRED TO MAKE INSTALLATIONS IN THE BEST WORKMANSHIP MANNER AND EQUAL TO ACCEPTED STATE OF THE ART PROCEDURES.

ALL EQUIPMENT AND MATERIALS FURNISHED UNDER THIS CONTRACT SHALL BE NEW, LISTED BY THE UNDERWRITERS LABORATORIES, AND SHALL BE OF THE SAME MAKE WHERE USED FOR SIMILAR PURPOSES.

PROVIDE NAMEPLATES FOR ALL DISCONNECTS, STARTERS, PANEL BOARDS, TIMERS, CABINETS, ENCLOSURES, ETC. NAMEPLATES SHALL IDENTIFY THE ASSOCIATED EQUIPMENT BEING SERVED. MAKE CERTAIN ALL CIRCUIT BREAKERS IN ALL PANEL BOARDS ARE IDENTIFIED BY ROOM NUMBER AND/OR NAME, EQUIPMENT SERVED, OR OTHER APPROPRIATE DESIGNATION. PANELS SHALL BE PROVIDED WITH DOOR MOUNTED, TYPE WRITTEN DIRECTORIES UNDER CLEAR PLASTIC.

CONDUIT & RACEWAYS

- a) ALL CONDUIT SHALL BE ELECTRICAL METALLIC TUBING WITH SET-SCREW FITTINGS. EMT SHALL BE DELIVERED TO THE JOB SITE IN TEN-FOOT LENGTHS AND SHALL BEAR THE UL LABEL AND MANUFACTURERS NAME OR TRADEMARK
- b) THE ELECTRICAL RACEWAY SYSTEM SHALL BE INDEPENDENTLY ATTACHED OR SUPPORTED FROM THE BUILDING STRUCTURE AND SHALL RUN PARALLEL WITH OR PERPENDICULAR TO THE STRUCTURAL MEMBERS.
- c) SUPPORTS AND ATTACHMENTS PROVIDED SHALL BE SPECIFICALLY DESIGNED FOR THE INSTALLATION. PERFORATED HANGERS OR WIRE TIE SUPPORTS ARE NOT ACCEPTABLE.
- d) ALL RACEWAYS PASSING THROUGH A FIRE SEPARATION SHALL HAVE A FIRE-RATED INSTALLATION
- e) CONDUIT SHALL BE INSTALLED IN ORDER THAT A CONTINUOUS GROUNDING PATH IS ESTABLISHED.

CONDUCTORS

- f) ALL WIRE AND CABLE SHALL BE NEW WITHIN ONE YEAR OF MANUFACTURER WHEN DELIVERED TO THE JOB SITE AND BEAR THE UL LABEL, INSULATION TYPE, VOLTAGE RATINGS, AND MANUFACTURERS NAME AT REGULAR INTERVALS ON THE INSULATION JACKET.
- g) ALL SINGLE CONDUCTOR WIRING IN RACEWAYS SHALL BE STRANDED COPPER, 600 VOLT RATED, TYPE THHN/THWN, 90 °C.
- h) ALL MULTI-CONDUCTOR CABLE FOR BRANCH CIRCUIT WIRING SHALL BE TYPE 'AC' ARMORED CABLE (COPPER) WITH CONTINUOUS INSULATED GROUNDING CONDUCTOR.
- i) JOINTS, TAPS AND SPLICES OF WIRE OF SIZE #10 AND SMALLER SHALL BE MADE 'SCOTCHLOCK' TYPE SPRING CONNECTORS; SIZES 38 AND LARGER SHALL BE MADE WITH COMPRESSION CONNECTORS

OUTLETS AND WIRING DEVICES

- j) BOXES AND FITTINGS FOR CONCEALED WORK SHALL BE PRESSED SHEET STEEL, CADMIUM COATED OR ZINC GALVANIZED. IN CONCEALED WORK, INSTALL ALL BOXES SO THAT THE FRONT EDGES DO NOT PROTRUDE BEYOND THE FINISHED WALL SURFACE. OUTLET BOXES SHALL BE 4" SQUARE OR OCTAGONAL AND NOT LESS THAN 1 1/2" DEEP. IN ALL CASES THEY SHALL BE OF A SIZE AND SHAPE ESPECIALLY ADAPTED TO THE PARTICULAR USE TO WHICH THEY ARE PUT. WHERE SPACE LIMITATIONS DICTATE 2X4" BOXES MAY BE USED, IF OF PROPER VOLUME AS DICTATED BY THE NEC.
- k) RECEPTACLES SHALL BE DUPLEX GROUNDING TYPE 15A 120V, SPECIFICATION GRADE WITH BRUSHED STAINLESS STEEL COVER PLATE. GROUND FAULT INTERRUPTER (GFI) AND ISOLATED GROUND (IG) TYPE RECEPTACLES SHALL BE PROVIDED IN LOCATIONS AS INDICATED. THE ARCHITECT SHALL SELECT COLOR.
- l) SWITCHES SHALL BE SINGLE POLE, THREE-WAY OR FOUR-WAY AS INDICATED, 20A, 120-277V, SPECIFICATION GRADE, QUIET TYPE.

LIGHT FIXTURE REQUIREMENTS

- m) ALL LIGHT FIXTURES ARE TO BE PROVIDED COMPLETE WITH ALL NECESSARY ACCESSORIES FOR A PROPER INSTALLATION. FOR BASIC FIXTURE TYPES: ADDITIONAL FEATURES, ACCESSORIES, AND SCHEDULES ARE TO BE PROVIDED FOR ALL FIXTURES PROVIDED.

GROUNDING

- n) ALL EQUIPMENT GROUNDING CONNECTIONS SHALL BE COMPLETELY CONNECTED PRIOR TO ENERGIZING EQUIPMENT. THE ENTIRE RACEWAY SYSTEM SHALL COMPOSE A CONTINUOUS GROUND FROM THE INITIAL GROUND CONNECTION TO THE FURTHEST OUTLET.
- o) ALL RECEPTACLES SHALL HAVE A SEPARATE GROUNDING CONDUCTOR INSTALLED FROM THE ROUND TERMINAL ON THE DEVICE TO THE METALLIC BOX.

PANEL BOARDS.

- p) PANELBOARDS SHALL BE ASSEMBLED AND CONSTRUCTED IN ACCORDANCE WITH THE NEMA, UL, AND NEC REQUIREMENT AND BEAR THE UL LABEL. PANELBOARD CABINETS, INCLUDING BOXES AND FRONTS SHALL BE CODE GAUGE GALVANIZED STEEL. ALL FRONTS SHALL BE COMPLETE WITH CYLINDER TYPE LOCK AND CATCH, AND ALL CYLINDERS SHALL BE KEVED ALIKE. PROVIDE TWO KEYS PER PANEL TO THE OWNER.
- q) PANELBOARDS SHALL HAVE FULL AMPACITY COPPER BUSSING THROUGHOUT, AND SHALL BE FULL SIZE IN REGARD TO THE POSSIBLE NUMBER OF POLE SPACES. PANELBOARDS SHALL BE IDENTIFIED WITH PHASES READING LEFT TO RIGHT: A,B,C, AND CIRCUITS ALTERNATELY NUMBERED LEFT TO RIGHT, ODD NUMBERS ON THE LEFT, EVEN NUMBERS ON THE RIGHT.
- r) CIRCUIT BREAKERS SHALL BE QUICK-MAKE, QUICK-BREAK, WITH THERMAL MAGNETIC TRIP. CIRCUIT BREAKERS FOR HVAC EQUIPMENT LOADS SHALL BE SPECIFICALLY RATED FOR SUCH LOADS. MULTI-POLE BREAKERS SHALL HAVE A COMMON INTERNAL TRIP. UL LISTED AS MULTI-POLE UNITS. HANDLE TIES ARE NOT PERMITTED.

SHOP DRAWINGS AND MANUFACTURERS DATA: THE CONTRACTOR SHALL SUBMIT THREE COPIES OF ALL SHOP DRAWINGS OR DESCRIPTIVE LITERATURE ON ALL EQUIPMENT TO BE SUPPLIED.

AS BUILT DRAWINGS: AT THE COMPLETION OF THE ELECTRICAL WORK THE CONTRACTOR RESPONSIBLE FOR THE WORK PERFORMED UNDER THIS CONTRACT SHALL PROVIDE AS-BUILT DRAWINGS AS REQUIRED.

Notes for the Plans

- 1) NO NEW ELECTRICAL WORK FOR THIS SPACE (AS PART OF THIS SUBMISSION)
- 2) THE CEILING REQUIRES A ONE HOUR FIRE-RATING. SEE NOTE W6b OF THE WALL TYPE SCHEDULE
- 3) LINE OF SOFFIT ABOVE CABINETRY
- 4) LINE OF CABINETRY
- 5) ACCESS HATCH: TO HVAC EQUIPMENT ABOVE: 22 X 30" MIN. DIM. OR MINIMUM SIZE OF EQUIPMENT

Light Schedule

FOR THE RESIDENTIAL UNITS:

- a) AT THE KITCHEN: PROVIDE GFCI OUTLETS IN THE KITCHEN AND THE ISLAND; AND FOR THE REFRIGERATOR, DISHWASHER, STOVE AND MICROWAVE. SEE INTERIOR ELEVATION SKETCHES FOR INFORMATION AT KITCHEN
- b) AT THE BATHROOMS: PROVIDE ONE GFCI OUTLET IN EACH OF THE BATHROOM AREAS; OR AS INDICATED ON THE DRAWINGS.
- c) AT ALL BEDROOMS: BRANCH CIRCUITS SUPPLYING OUTLETS IN BEDROOMS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER.

AT THE HALLWAY:

AT THE STAIRS: PROVIDE 3-WAY SWITCHING, EMERGENCY LIGHTS AND EXIT SIGNS AS INDICATED ON PLANS.

KEY	GENERAL DESCRIPTION	
TO	WALL SCONCE ON DIMMER	BATH, OVER SINK
⊗	RECESSED INCANDESCENT WALL WASH-ADJUSTABLE FOCUS ON DIMMER FOR INTERIOR APPLICATION	5" HOUSING, WHITE TRIM
⊙	RECESSED INCANDESCENT ON DIMMER	#1: STANDARD APPLICATION FOR FLAT CEILING, 8'-0" ht #2: FOR SHOWER, WITH LENS
⊕	CEILING MOUNTED INCANDESCENT OR FLUORESCENT	#1: FLUORESCENT AT HALL AND STAIRS, MOTION ACTIVATED OPERATION #2: CLOSET FOR FUTURE DUAL-LINE TRACK LIGHTING
J	JUNCTION BOX	
⊖	TASK LIGHT UNDER WALL UNIT	AT KITCHEN CABINETS
P	PENDANT FIXTURE, DECORATIVE	WITH DIMMING CAPABILITY
⊖	DUAL LINE, LINE VOLTAGE TRACK LIGHTING	WITH DIMMING CAPABILITY BOTH LINES
E	EXHAUST FAN	AT BATHROOM: SIZED FOR ROOM. NO LIGHT.
SD	SMOKE DETECTOR / CARBON MONOXIDE COMBO UNIT	
S	WALL SWITCH	GENERAL LOCATION FOR ROOM
⊕	DUPLEX RECEPTACLE OUTLET. PROVIDE OUTLETS AT 6'-0" O.C. AT PERIMETER WALLS. (NOT DRAWN)	18" = STANDARD HEIGHT; 36" OR 44" HEIGHT
⊕	QUADRIPLEX RECEPTACLE	18" = STANDARD HEIGHT OR 36" HEIGHT AS INDICATED
⊗	EXIT SIGN	ILLUMINATION NOT REQUIRED IF ADJACENT EMERGENCY LIGHT
⊕	EMERGENCY LIGHTING	

Separate circuits for:

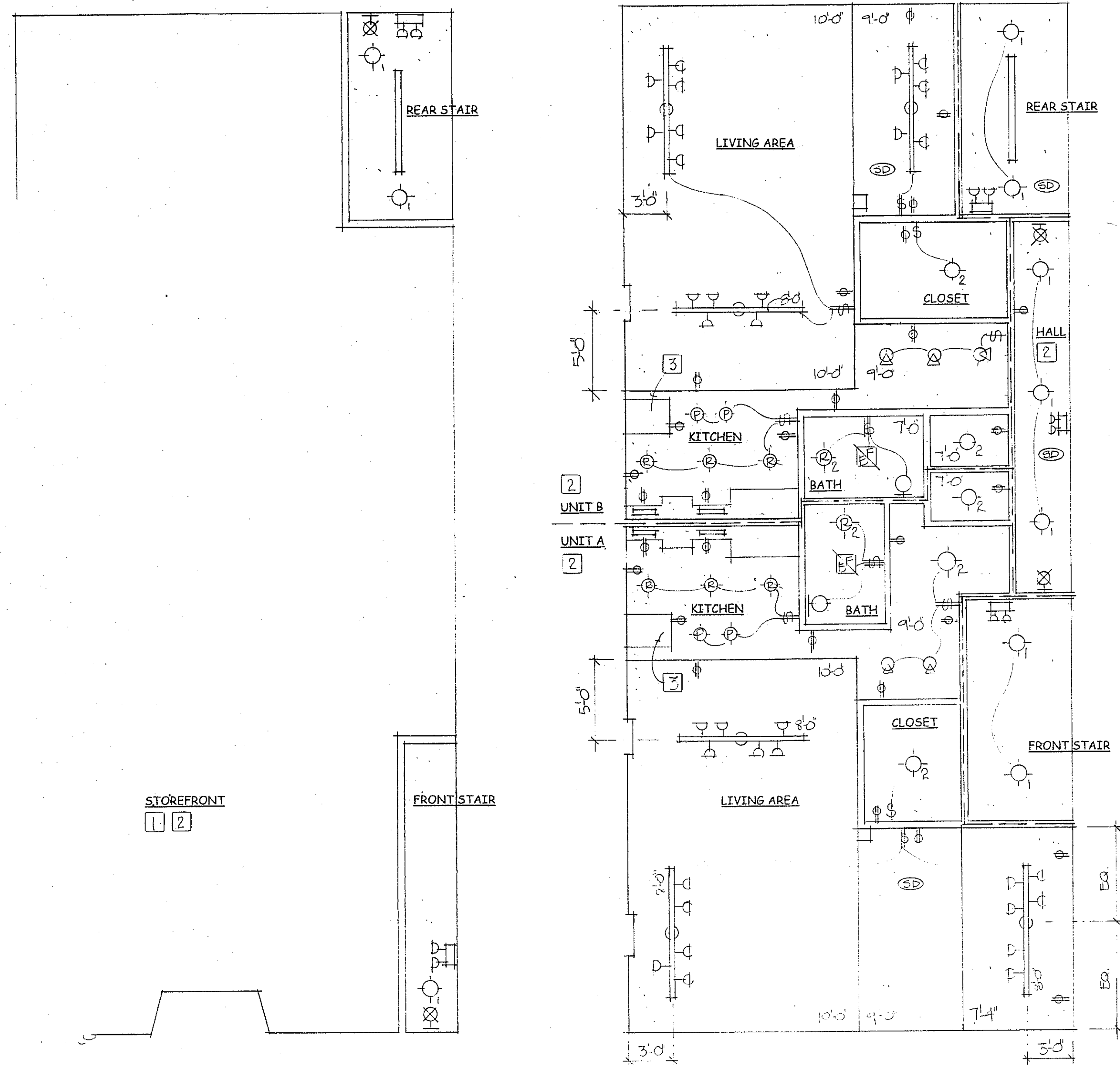
FRIG/FREEZER COMBINATION	2 #12 WIRES	120 VOLTS
DISHWASHER	2 #12 WIRES	120 VOLTS
DISPOSAL	3 #6 WIRES	120/240 VOLTS
ELECTRIC RANGE (IF USED)	2 #12 WIRES	120 VOLTS
WASHER	2 #12 WIRES	120/240 VOLTS
DRYER	3 #10 WIRES	120 VOLTS
ELECTRIC WATER HEATER (IF USED)	#10 OR #12 WIRES	CONSULT UTILITY
AIR HANDLER		CONSULT UTILITY

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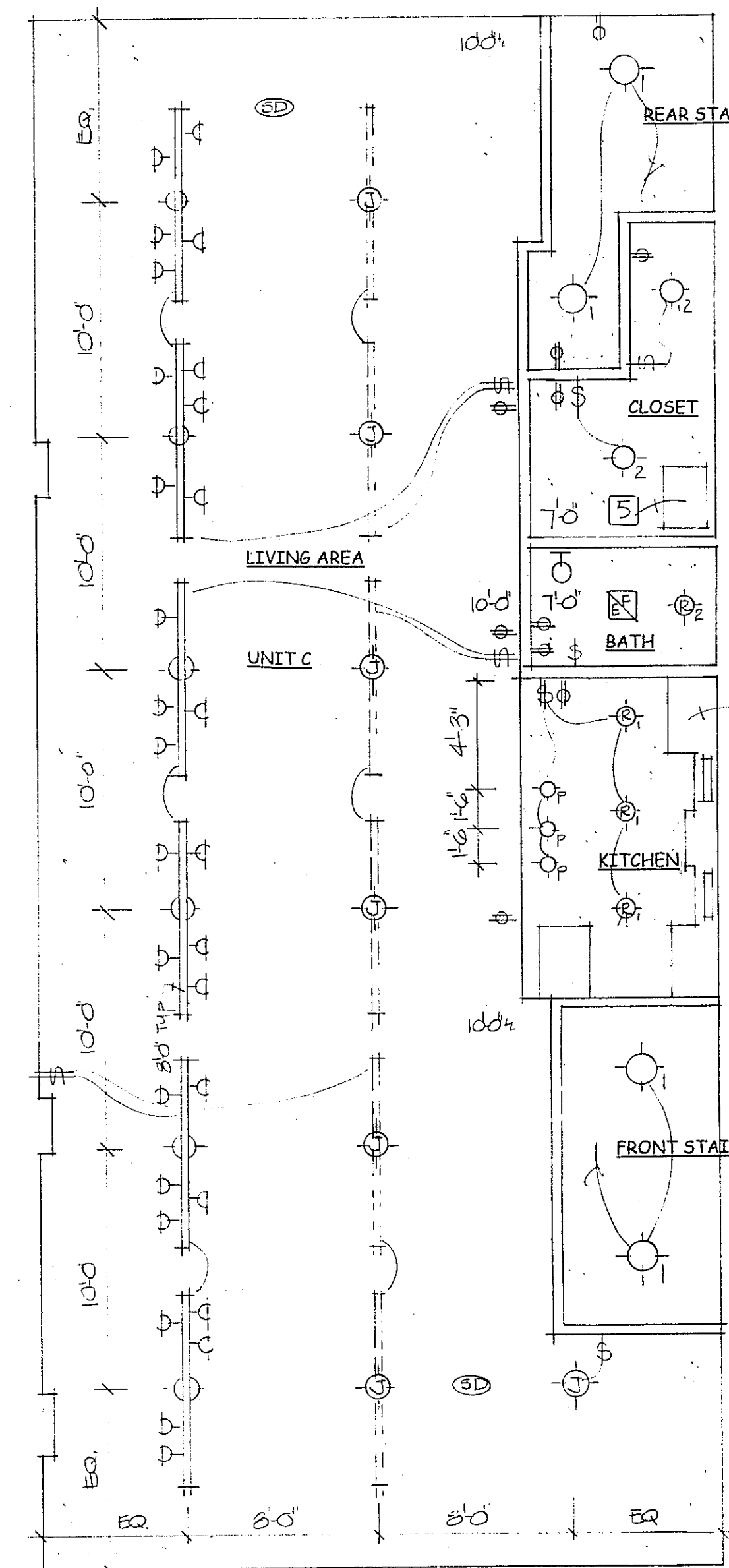
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Ceiling Plan: 1st lighting & electric
scale: 3/16" = 1'-0"



Ceiling Plan: 2nd lighting & electric
scale: 3/16" = 1'-0"

Ceiling Plan: 3rd lighting & electric
scale: 3/16" = 1'-0"